



COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

July 15, 2015

Staff Report

Case No. 15-042

Location: 3885 Middle Road and 4105 Belmont Road – Land Use Amendment

Applicant: Black Hawk Bank & Trust

Current Zoning Classification: C-5, Office/transitional District

Proposed Land Use Designation: Commercial

Land Use Designation: Office/transitional

Background Information and Facts

Blackhawk Bank & Trust has submitted an application for a land use amendment for 3885 Middle Road and a portion of 4105 Belmont Road (Lot 1, Quail Ridge Pointe Subdivision) (see Aerial Photo and Land Use Map, Attachments A and B). The petitioner would like to rezone approximately 1.22 acres from C-5, Office/transitional District to C-1, Local Shopping District and is also requesting a land use change from Office/transitional to Commercial. The petitioner has also made a request to replat and site plan approximately 2.817 acres which will be the site of a bank. The overall development is partially located in Quail Ridge Pointe Subdivision (see Final Plat, Attachment C). Utilities will come from the west and the south (see Sewer Map, Attachment D). The site is anticipated to have two means of entry from portions of Old Belmont Road and Katie Lane (see Site Photos, Attachments E and F). The petitioner also plans to replat the ground into a different two lot configuration (see Final Plat, Attachment G). The concept plan shows a building location for the bank which is on Lot 1 of the proposed Blackhawk Bank Addition (see Site Plan, Attachment H). Landscaping meets the City requirements, except staff would request the majority of the landscaping be placed near the southern portion of the project site outside of any easement areas (see Landscape Plan, Attachment I). The elevations show the bank building with the accompanying drive-up booths (see Elevations, Attachment J).

Land Use

The land use designation for the site is Office/transitional. Surrounding land use designations are Traditional Residential, Commercial, and Office/transitional. The petitioner would like to change the land use designation to Commercial to facilitate a rezoning to C-1, Local Shopping District from C-5 Office/transitional District. Covenants agreed to in 1999 also govern 4105 Belmont Road. Limitations on the development of the site are listed in the covenants.

Utilities

Utilities are available along Middle Road and Old Belmont Road. The responsibility is the property owner's to connect to all utilities. Sanitary sewer is available by accessing the line from Middle Road. Any electrical connections entering the building from 4105 Belmont Road must be contained underground. Access to all other utilities borders the property.

Thoroughfare Plan/Access

Access to the site is from Old Belmont Road from Middle Road on the southwest side of the proposed subdivision and from Old Belmont Road through Katie Lane to Middle Road by use of the existing paved entry.

Storm Water Detention

Storm water detention is required and must be approved by the City Engineer at the time a site development plan is submitted. Storm water detention shall be accommodated for all development within the proposed subdivision.

Recommended Action

Staff recommends the Planning and Zoning Commission support approval of the land use amendment. The land use designation for this site is proposed as transitioning from Office/Transitional to Commercial.

Staff would add the following conditions to any approval of the land use amendment:

1. Approval of the land use amendment does not waive any applicable city, state, or federal requirements.
2. Designs for the site be provided through the site development plan process, with approval by City Council prior to the issuance of building permits.
3. All storm water detention shall be provided within Blackhawk Bank Addition for any development on lots within the subdivision. All storm water detention designs shall be approved by the City Engineer prior to submission of a site plan.

Respectfully submitted,

Greg Beck
City Planner



COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

July 15, 2015

Staff Report

Case No. 15-043

Location: 3885 Middle Road - Rezoning

Applicant: Black Hawk Bank & Trust

Current Zoning Classification: C-5, Office/transitional District

Proposed Zoning Classification: C-1, Local Shopping District

Land Use Designation: Office/transitional

Background Information and Facts

Blackhawk Bank & Trust has submitted an application for rezoning of 3885 Middle Road (see Aerial Photo and Land Use Map, Attachments A and B). The petitioner would like to rezone approximately 1.22 acres from C-5, Office/transitional District to C-1, Local Shopping District and is also requesting a land use change from Office/transitional to Commercial. The petitioner has also made a request to replat and site plan for approximately 2.817 acres which will be the site of a bank. The overall development is partially located in Quail Ridge Pointe Subdivision (see Final Plat, Attachment C). Utilities will come from the west and the south (see Sewer Map, Attachment D). The site is anticipated to have two means of entry from portions of Old Belmont Road and Katie Lane (see Site Photos, Attachments E and F). The petitioner also plans to replat the ground into a different two lot configuration (see Final Plat, Attachment G). The concept plan shows a building location for the bank which is on Lot 1 of the proposed Blackhawk Bank Addition (see Site Plan, Attachment H). Landscaping meets the City requirements, except staff would request the majority of the landscaping be placed near the southern portion of the project site outside of any easement areas. (see Landscape Plan, Attachment I). The elevations show the bank building with the accompanying drive up booths (see Elevations, Attachment J).

Land Use

The land use designation for the site is Office/transitional. Surrounding land uses are Traditional Residential, Commercial, and Office/transitional. The petitioner would like to change the land use designation to Commercial to facilitate a rezoning to C-1, Local Shopping District from C-5 Office/Transitional District. Covenants agreed to in 1999 also govern 4105 Belmont Road (Lot 1, Quail Ridge Pointe Subdivision). Limitations on the development of the site are listed in the covenants.

Utilities

Utilities are available along Middle Road and Old Belmont Road. The responsibility is the property owner's to connect to all utilities. Sanitary sewer is available by accessing the line from Middle Road. Any electrical connections entering the building from 4105 Belmont Road must be contained underground. Access to all other utilities borders the property.

Thoroughfare Plan/Access

Access to the site is from Old Belmont Road from Middle Road on the southwest side of the proposed subdivision and from Old Belmont Road through Katie Lane to Middle Road by use of the existing paved entry.

Storm Water Detention

Storm water detention is required and must be approved by the City Engineer at the time a site development plan is submitted. Storm water detention shall be accommodated for all development within the proposed subdivision.

Recommended Action

Staff recommends the Planning and Zoning Commission support approval of the rezoning. The land use designation for this site is proposed as transitioning from Office/transitional to Commercial.

Staff would add the following conditions to any approval of the rezoning:

1. Approval of the rezoning does not waive any applicable city, state, or federal requirements.
2. Designs for the site be provided through the site development plan process, with approval by City Council prior to the issuance of building permits.
3. All storm water detention shall be provided within Blackhawk Bank Addition for any development on lots within the subdivision. All storm water detention designs shall be approved by the City Engineer prior submission of a site plan.

Respectfully submitted,

Greg Beck
City Planner



COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

July 15, 2015

Staff Report

Case No. 15-044

Location: Blackhawk Bank Addition - Replat

Applicant: Black Hawk Bank & Trust

Current Zoning Classification: C-5, Office/transitional District

Proposed Zoning Classification: C-1, Local Shopping District

Land Use Designation: Office/transitional

Background Information and Facts

Blackhawk Bank & Trust has submitted an application for a replat of property located at 3885 Middle Road and 4105 Belmont Road (Lot 1, Quail Ridge Pointe Subdivision) (see Aerial Photo and Land Use Map, Attachments A and B). The petitioner would like to replat approximately 2.817 acres which will be the site of a bank. The petitioner has also made a request for a site plan for approximately 2.817 acres which will be the site of a bank. The overall development is partially located in Quail Ridge Pointe Subdivision (see Final Plat, Attachment C). Utilities will come from the west and the south (see Sewer Map, Attachment D). The site is anticipated to have two means of entry from portions of Old Belmont Road and Katie Lane (see Site Photos, Attachments E and F). The petitioner also plans to replat the ground into a different two lot configuration (see Final Plat, Attachment G). The concept plan shows a building location for the bank which is on Lot 1 of the proposed Blackhawk Bank Addition (see Site Plan, Attachment H). Landscaping meets the City requirements, except staff would request the majority of the landscaping be placed near the southern portion of the project site outside of any easement areas (see Landscape Plan, Attachment I). The elevations show the bank building with the accompanying drive up booths (see Elevations, Attachment J).

Land Use

The land use designation for the site is Office/transitional. Surrounding land use designations are Traditional Residential, Commercial, and Office/transitional. The petitioner would like to change the land use designation to Commercial to facilitate a rezoning to C-1, Local Shopping District from C-5 Office/transitional District. Covenants agreed to in 1999 also govern 4105 Belmont Road. Limitations on the development of the site are listed in the covenants.

Utilities

Utilities are available along Middle Road and Old Belmont Road. The responsibility is the property owner's to connect to all utilities. Sanitary sewer is available by accessing the line from Middle Road. Any electrical connections entering the building from 4105 Belmont Road must be contained underground. Access to all other utilities borders the property.

Thoroughfare Plan/Access

Access to the site is from Old Belmont Road from Middle Road on the southwest side of the proposed subdivision and from Old Belmont Road through Katie Lane to Middle Road by use of the existing paved entry.

Storm Water Detention

Storm water detention is required and must be approved by the City Engineer at the time a site development plan is submitted. Storm water detention shall be accommodated for all development within the proposed subdivision.

Recommended Action

Staff recommends the Planning and Zoning Commission support approval of the replat.

Staff would add the following conditions to any approval of the final plat:

1. Approval of the final plat does not waive any applicable city, state, or federal requirements.
2. Designs for the site shall be provided through the site development plan process, with approval by City Council prior to the issuance of building permits.
3. A note is required on the final plat referencing the governance of 4105 Belmont Road by covenants conditioned in 1999 as part of the platting and rezoning of Quail Ridge Pointe Subdivision.
4. The recreational trail facing Middle Road shall be 10 feet wide and paid for by the subdivision owner and paved prior to an occupancy permit being issued for any structure within the subdivision. The recreational trail facing Belmont Road shall be 10 feet in width, the City paying for 6 feet of the paved width.

Respectfully submitted,

Greg Beck
City Planner



COMMUNITY DEVELOPMENT

City Hall Annex λ 4403 Devils Glen Road, Bettendorf, Iowa 52722 λ (563) 344-4100

July 15, 2015

Staff Report

Case No. 15-052

Location: 3885 Middle Road – Site Development Plan

Applicant: Black Hawk Bank & Trust

Current Zoning Classification: C-5, Office/transitional District

Proposed Zoning Classification: C-1, Local Shopping District

Land Use Designation: Office/transitional

Background Information and Facts

Blackhawk Bank & Trust has submitted an application for a site development plan for property located at 3885 Middle Road and 4105 Belmont Road (Lots 1 and 2, Blackhawk Bank Addition) (see Aerial Photo and Land Use Map, Attachments A and B). The petitioner has also made a request to replat approximately 2.817 acres which will be the site of a bank. The overall development is located in Quail Ridge Pointe Subdivision (see Final Plat, Attachment C). Utilities will come from the west and the south (see Sewer Map, Attachment D). The site is anticipated to have two means of entry from portions of Old Belmont Road and Katie Lane (see Site Photos, Attachments E and F). The petitioner also plans to replat the ground into a different two lot configuration (see Final Plat, Attachment G). The concept plan shows a building location for the bank which is on Lot 1 of the proposed Blackhawk Bank Addition (see Site Plan, Attachment H). Landscaping meets the City requirements, except staff would request the majority of the landscaping be placed near the southern portion of the project site outside of any easement areas (see Landscape Plan, Attachment I). The elevations show the bank building with the accompanying drive up booths (see Elevations, Attachment J).

Land Use

The land use designation for the site is Office/transitional. Surrounding land use designations are Traditional Residential, Commercial, and Office/transitional. The petitioner would like to change the land use designation to Commercial to facilitate a rezoning to C-1, Local Shopping District from C-5 Office/Transitional District. Covenants agreed to in 1999 also govern 4105 Belmont Road. Limitations on the development of the site are listed in the covenants.

Utilities

Utilities are available along Middle Road and Old Belmont Road. The responsibility is the property owner's to connect to all utilities. Sanitary sewer is available by accessing the line from Middle Road. Any electrical connections entering the building from 4105 Belmont Road must be contained underground. Access to all other utilities borders the property.

Thoroughfare Plan/Access

Access to the site is from Old Belmont Road from Middle Road on the southwest side of the proposed subdivision and from Old Belmont Road through Katie Lane to Middle Road by use of the existing paved entry.

Storm Water Detention

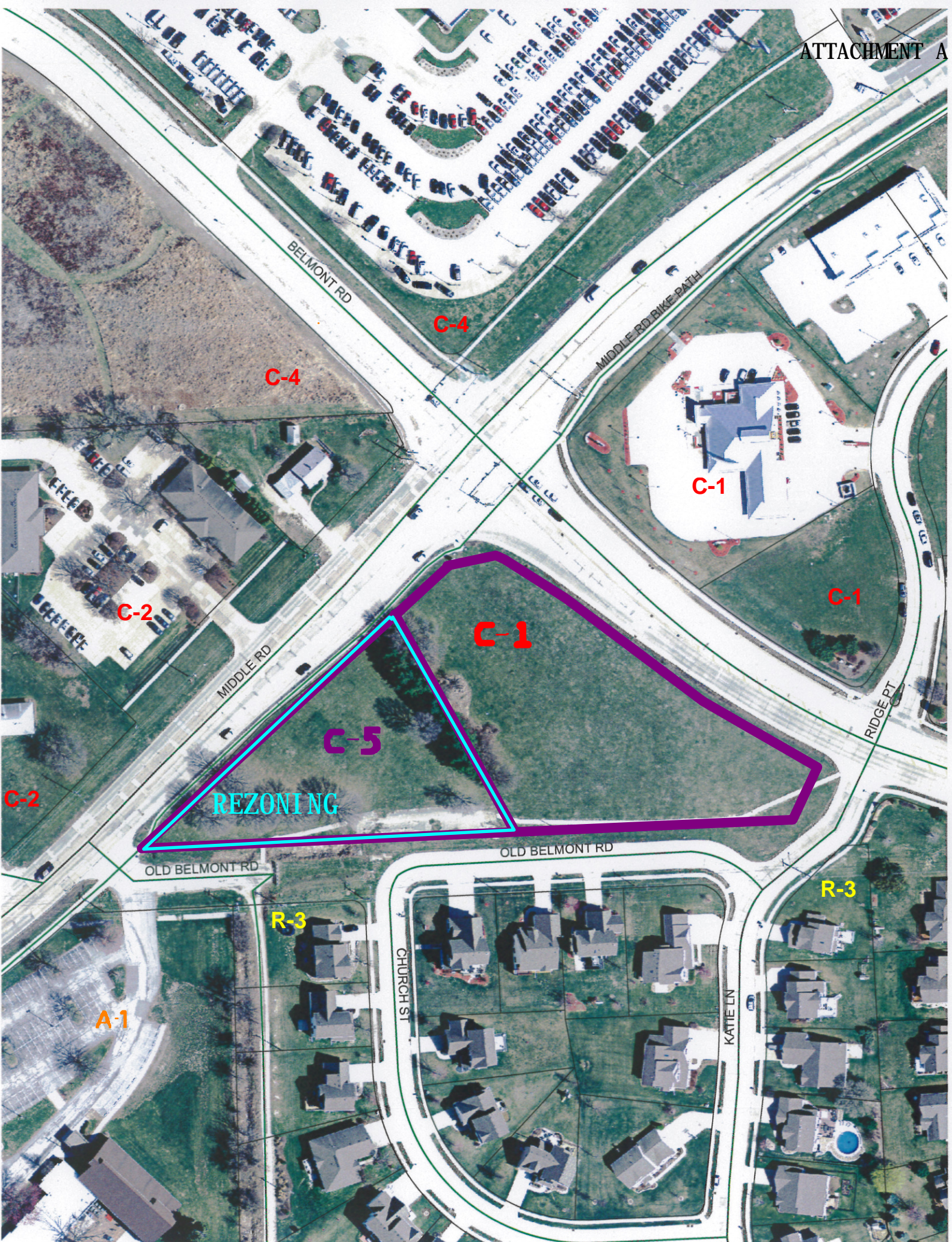
Storm water detention is required and must be approved by the City Engineer at the time a site development plan is submitted to City Council. Storm water detention shall be accommodated for all development within the proposed subdivision.

Recommended Action

Staff recommends the Planning and Zoning Commission support approval of the site development plan with the following conditions:

1. Approval of the site development plan does not waive any applicable city, state, or federal requirements.
2. Designs for the site shall be provided through the site development plan process, with approval by City Council prior to the issuance of building permits.
3. A note is required on the final plat referencing the governance of 4105 Belmont Road by covenants conditioned in 1999 as part of the platting and rezoning of Quail Ridge Pointe Subdivision.
4. The recreational trail facing Middle Road shall be 10 feet wide and paid for by the subdivision owner and paved prior to an occupancy permit being issued for any structure within the subdivision. The recreational trail facing Belmont Road shall be 10 feet in width, the City paying for 6 feet of the paved width.
5. Show dumpster location in the northwest corner of Lot 2 for a shared dumpster location.
6. A photometric study is needed for all lighting to comply with the rezoning conditions.
7. A separate plan and profile is needed for the recreational trail and as well as an ADA compliant standard of design.
8. No trees may be planted in the utility easements per the Dedication of Owner requirements.
9. Show proper elevation for the invert level on the manhole located in the dedicated area for Old Belmont Road right-of-way.
10. Storm water detention is required and must be approved by the City Engineer at the time a site development plan is submitted to City Council.

Respectfully submitted,



C-4

C-4

C-1

C-1

C-1

C-5

REZONING

C-2

C-2

MIDDLE RD

BELMONT RD

MIDDLE RD BIKE PATH

RIDGE PT

OLD BELMONT RD

OLD BELMONT RD

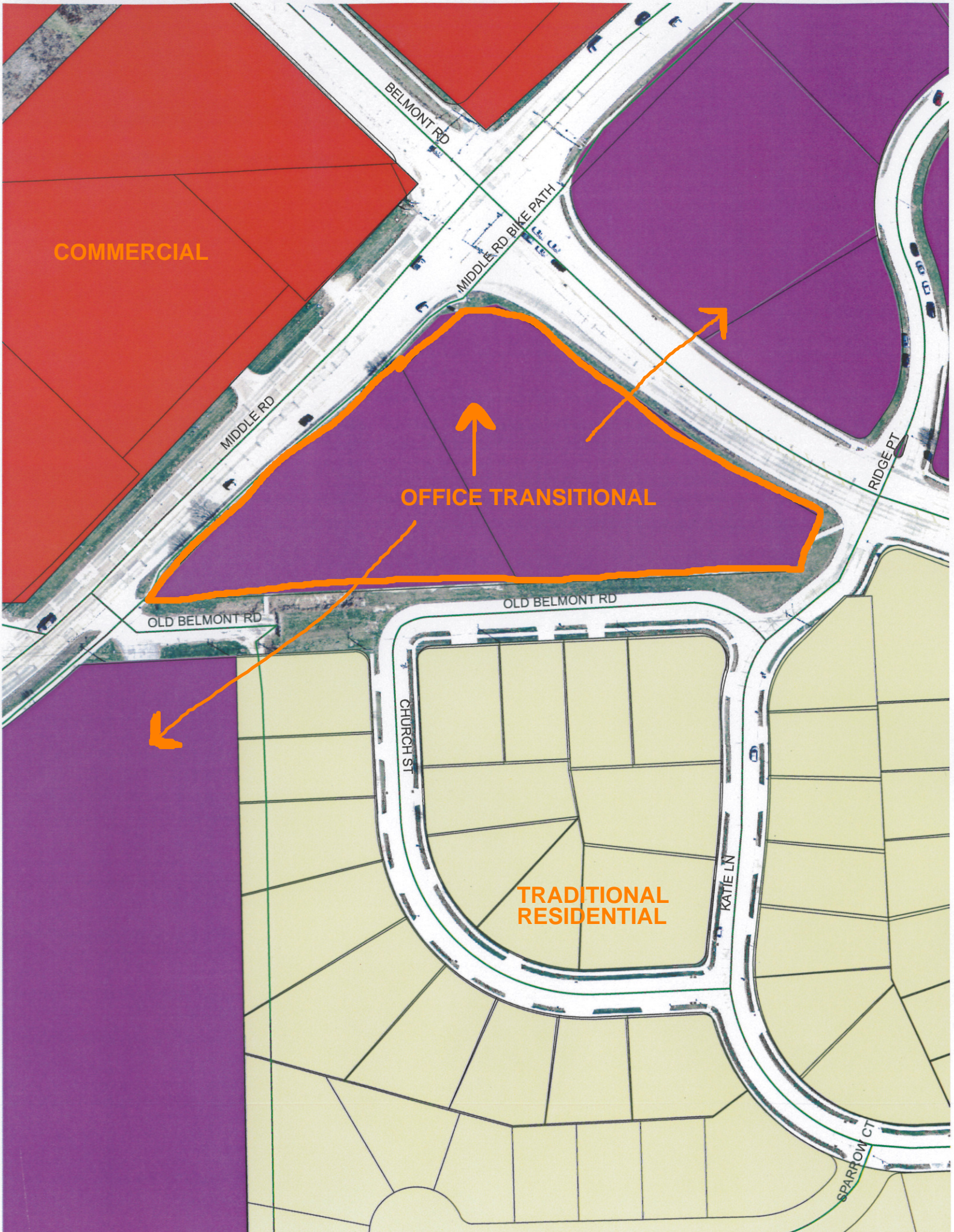
R-3

R-3

A-1

CHURCH ST

KATIE LN



COMMERCIAL

OFFICE TRANSITIONAL

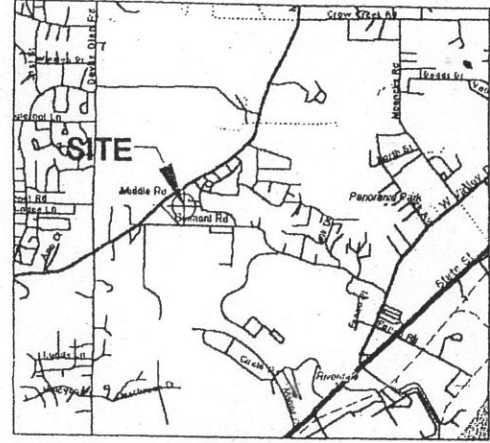
TRADITIONAL
RESIDENTIAL

FINAL PLAT OF QUAIL RIDGE POINTE SUBDIVISION

BETTENDORF, IOWA
 PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 78 NORTH,
 RANGE 4 EAST OF THE 5TH PRINCIPAL MERIDIAN IN SCOTT COUNTY, IOWA.

LEGEND

	PROPOSED		EXISTING
	STANDARD CONCRETE MONUMENT		FOUND IRON ROD / "X" CUT
	SET IRON ROD W/ CAP 8807		RIGHT-OF-WAY
	EASEMENT/SETBACK		



SUBDIVIDER:
 CHARLES A. RUHL FAMILY LIMITED PARTNERSHIP
 5111 UTICA RIDGE ROAD
 DAVENPORT, IOWA 52007
 (319) 355-4000

OWNERS:
 CHARLES A. RUHL FAMILY LIMITED PARTNERSHIP
 5111 UTICA RIDGE ROAD
 DAVENPORT, IOWA 52007
 (319) 355-4000

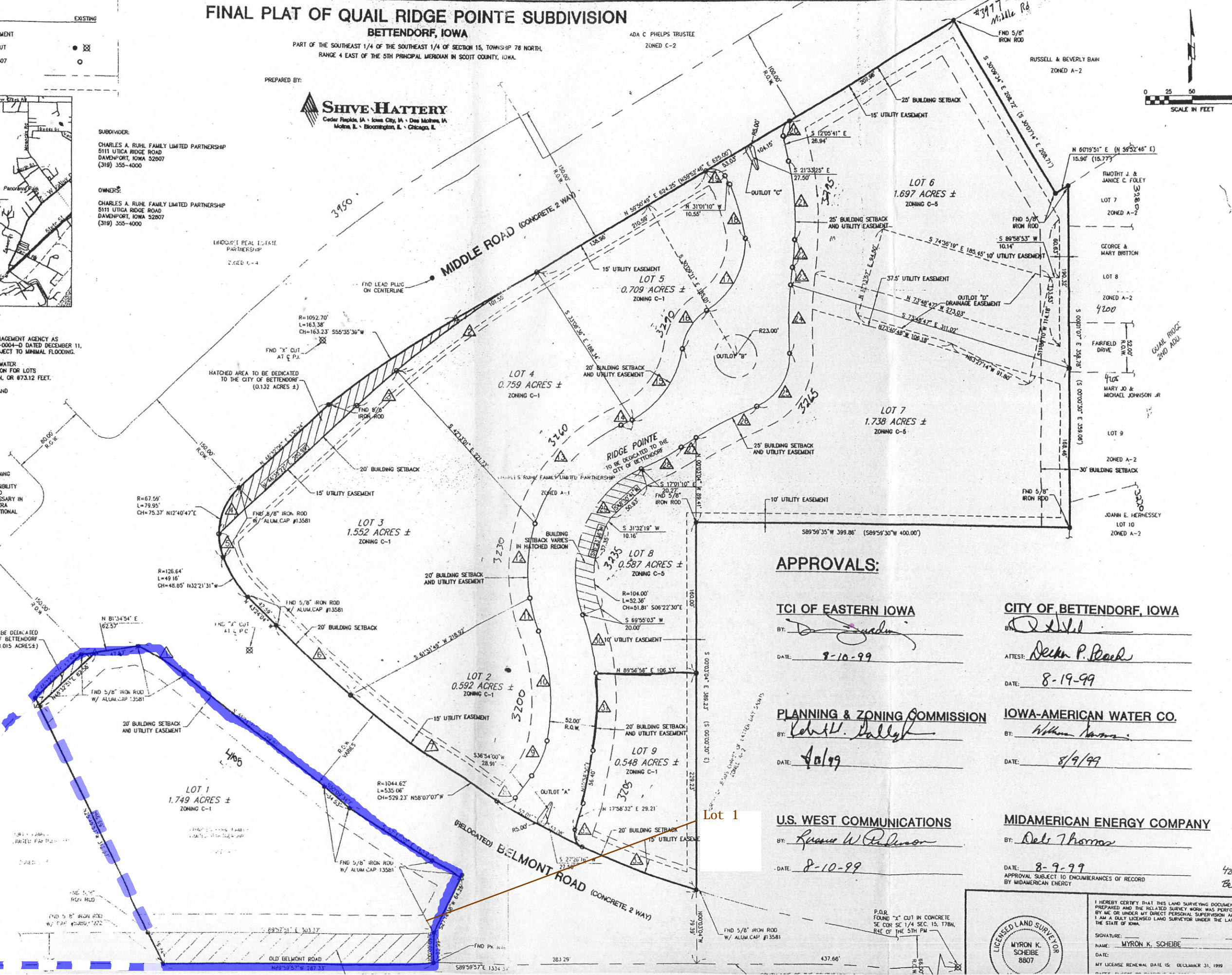
SHIVE HATTERY
 Cedar Rapids, IA • Iowa City, IA • Des Moines, IA
 Mohr, IL • Bloomington, IL • Chicago, IL

- GENERAL NOTES:**
- SITE IS IN FLOOD ZONE "C" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 190240-0004-D DATED DECEMBER 11, 1979. THIS SITE IS NOT WITHIN THE 100 YEAR FLOOD PLAIN AND IS SUBJECT TO MINIMAL FLOODING.
 - THE 100 YEAR FLOOD ELEVATION FOR LOTS 6 AND 7 DUE TO THE STORMWATER DETENTION POND IS 672.12 FEET. THE LOWEST HABITABLE FLOOR ELEVATION FOR LOTS 6 AND 7 TO BE CONSTRUCTED 1' ABOVE THE 100 YEAR FLOOD ELEVATION, OR 673.12 FEET.
 - EROSION CONTROL (SILT FENCES) TO BE PROVIDED ALONG MIDDLE ROAD AND WITHIN THE DETENTION POND AS DIRECTED BY THE ENGINEER.
 - OUTLOTS "A", "B", "C" AND "D" ARE TO BE NON-DEVELOPED OUTLOTS.
 - LOT 1 WILL REQUIRE STORM DETENTION AT THE TIME OF DEVELOPMENT.
 - ACCESS TO OUTLOT "D" IS RESTRICTED TO LOTS 6 AND 7.
 - ACCESS TO LOT 1 SHALL BE FROM BELMONT ROAD ONLY.
 - ACCESS TO LOTS 2-9 SHALL BE FROM RIDGE POINTE ONLY.
 - AN OWNERSHIP ASSOCIATION WILL HAVE THE RESPONSIBILITY FOR MAINTAINING THE INTERIOR OF THE ISLAND FOR OUTLOTS A,B,C AND D, INCLUDING ANY TREES, SHRUBS OR PLANTINGS. THEY WILL ALSO HAVE THE RESPONSIBILITY FOR THE ADDITIONAL COST OF REPAIR OR REPLACEMENT OF THE STAMPED COLORED CONCRETE IN THE PROPOSED ROADWAY SHOULD THAT BE NECESSARY IN SOME FUTURE YEAR. IF THE ASSOCIATION CHOOSES NOT TO PAY THE EXTRA COST OF THOSE REPAIRS, THE CITY WILL REPAIR THE STREET BY CONVENTIONAL METHODS.
 - RESTRICTIVE COVENANTS APPLY TO THIS SUBDIVISION.
 - TOTAL ACREAGE OF SUBDIVISION = 11.482 ACRES.

UTILITY NOTE:
 IN-SHEET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE TV SERVICE TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.

CURVE DATA

CURVE NO.	CHORD BEARING	CHORD	LENGTH	RADIUS
1	S57°20'51"E	57.09	57.20	274.28
2	N4°45'03"E	184.51	184.75	1035.43
3	N48°05'41"E	55.85	55.86	1035.43
4	N2°13'59"E	53.55	55.05	67.59
5	N10°39'15"W	24.76	24.90	67.59
6	N46°24'33"W	108.03	108.08	1044.62
7	N4°39'17"E	192.31	192.58	1044.62
8	S78°28'59"E	19.91	21.77	15.00
9	S2°56'38"W	40.13	40.48	89.50
10	S34°08'40"E	116.94	118.31	224.00
11	S14°32'21"E	36.36	36.42	176.00
12	S34°13'48"W	78.23	78.89	176.00
13	S40°51'07"W	141.95	146.10	176.00
14	N64°28'56"E	13.09	13.09	1.00
15	N35°14'36"E	92.09	95.74	49.50
16	N32°46'29"E	48.78	50.37	57.50
17	N28°43'36"E	87.17	91.0	89.50
18	N16°15'59"W	58.69	59.0	224.00
19	N75°35'02"W	21.05	21.33	15.00
20	S2°52'34"W	17.42	18.83	15.00
21	S64°03'55"E	82.24	82.55	276.00
22	S64°39'06"W	28.91	28.94	276.00
23	S36°34'13"W	18.54	18.56	489.50
24	S01°11'05"W	73	73.47	489.50
25	S31°47'42"E	70.07	70.07	57.50
26	S2°24'31"W	35	73.47	489.50
27	S57°01'41"W	18.61	18.6	489.50
28	S60°57'47"E	46.39	48.46	276.00
29	S21°50'17"E	76.61	184.05	124.00
30	S1°42'42"W	64.38	64.53	276.00
31	S2°52'34"W	81.56	81.86	276.00
32	S2°52'34"W	20.60	21.89	15.00
33	S30°23'33"E	130.31	130.31	1044.62



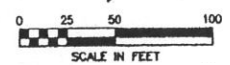
APPROVALS:

- TCI OF EASTERN IOWA**
 BY: *[Signature]*
 DATE: 8-10-99
- CITY OF BETTENDORF, IOWA**
 BY: *[Signature]*
 ATTEST: *[Signature]*
 DATE: 8-19-99
- PLANNING & ZONING COMMISSION**
 BY: *[Signature]*
 DATE: 8/1/99
- U.S. WEST COMMUNICATIONS**
 BY: *[Signature]*
 DATE: 8-10-99
- IOWA-AMERICAN WATER CO.**
 BY: *[Signature]*
 DATE: 8/9/99
- MIDAMERICAN ENERGY COMPANY**
 BY: *[Signature]*
 DATE: 8-9-99



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A QUALIFIED LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNATURE: MYRON K. SCHEIBE
 DATE: _____
 MY LICENSE RENEWAL DATE IS: DECEMBER 31, 1999



UTILITY EASEMENT

25' DEDICATED FOR STREET PURPOSES

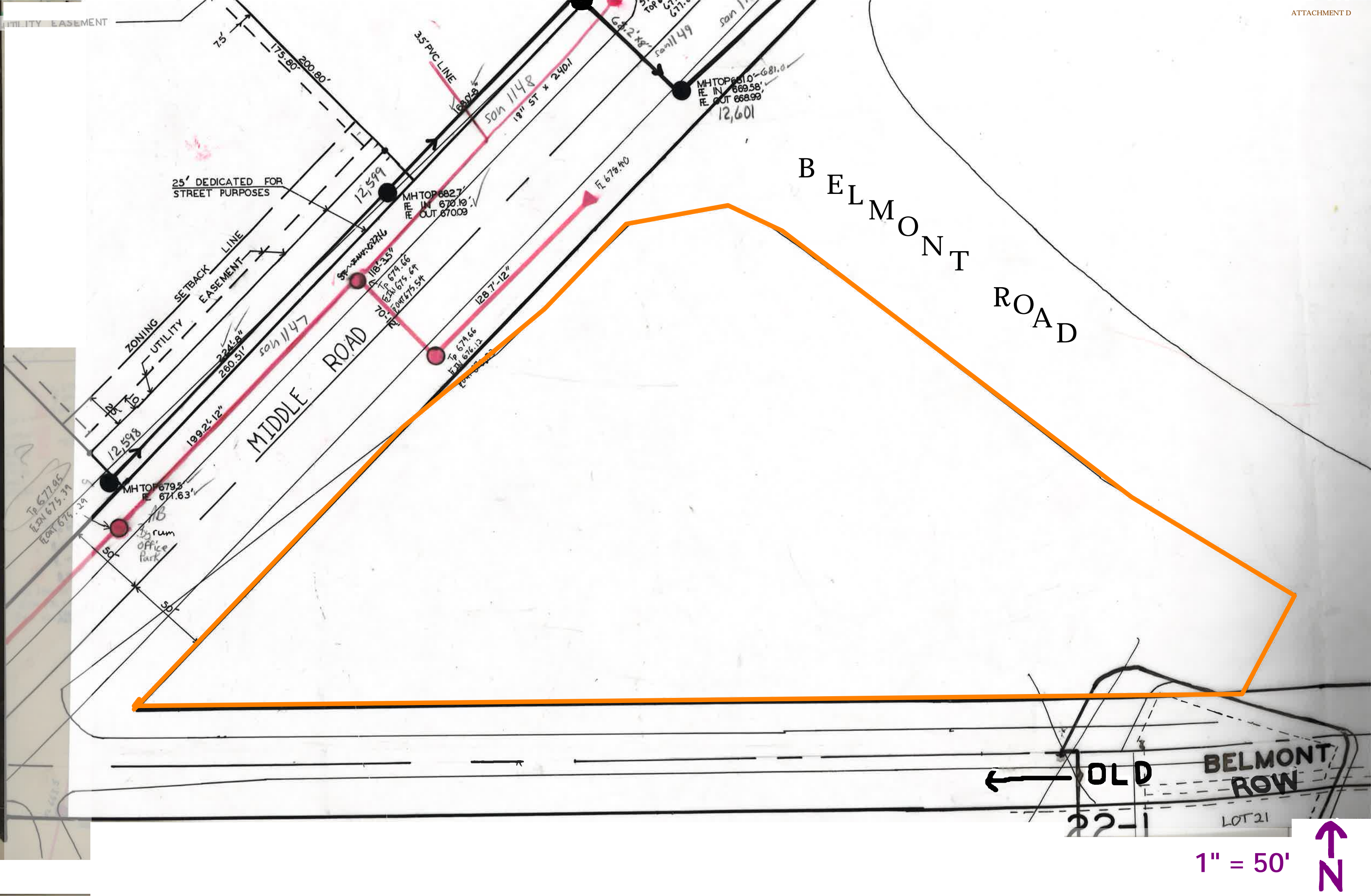
ZONING SETBACK LINE
UTILITY EASEMENT

MIDDLE ROAD

BELMONT ROAD

OLD BELMONT ROW
LOT 21

1" = 50'



To 672.05
E. 211 675.39
E. 211 675.29

MHTOP 6795
E. 671.63'

By rum
office
park

199.21'-12"

224'-8"

260.51'

50' x 114.7'

118.35'

E. 679.66
E. 211 675.64
E. 211 675.54

128.7'-12"

E. 679.66
E. 211 676.12

E. 679.40

12,599

MHTOP 6827
E. IN 670.19
E. OUT 67009

35' PVC LINE

50' x 114.8'

18" ST x 240.1

64'-2' x 8'

MHTOP 6810
E. IN 669.58
E. OUT 668.99

12,601

VIEW LOOKING TO THE WEST



EAST VIEW

VIEW FROM PROPOSED SOUTHWEST ENTRY



WEST ENTRANCE →

RECREATIONAL TRAIL TEN FEET WIDE

VIEW FROM OLD BELMONT ROAD AND CHURCH STREET LOOKING NORTH



VIEW FROM QUAIL RIDGE POINTE LOT 2 LOOKING SOUTH

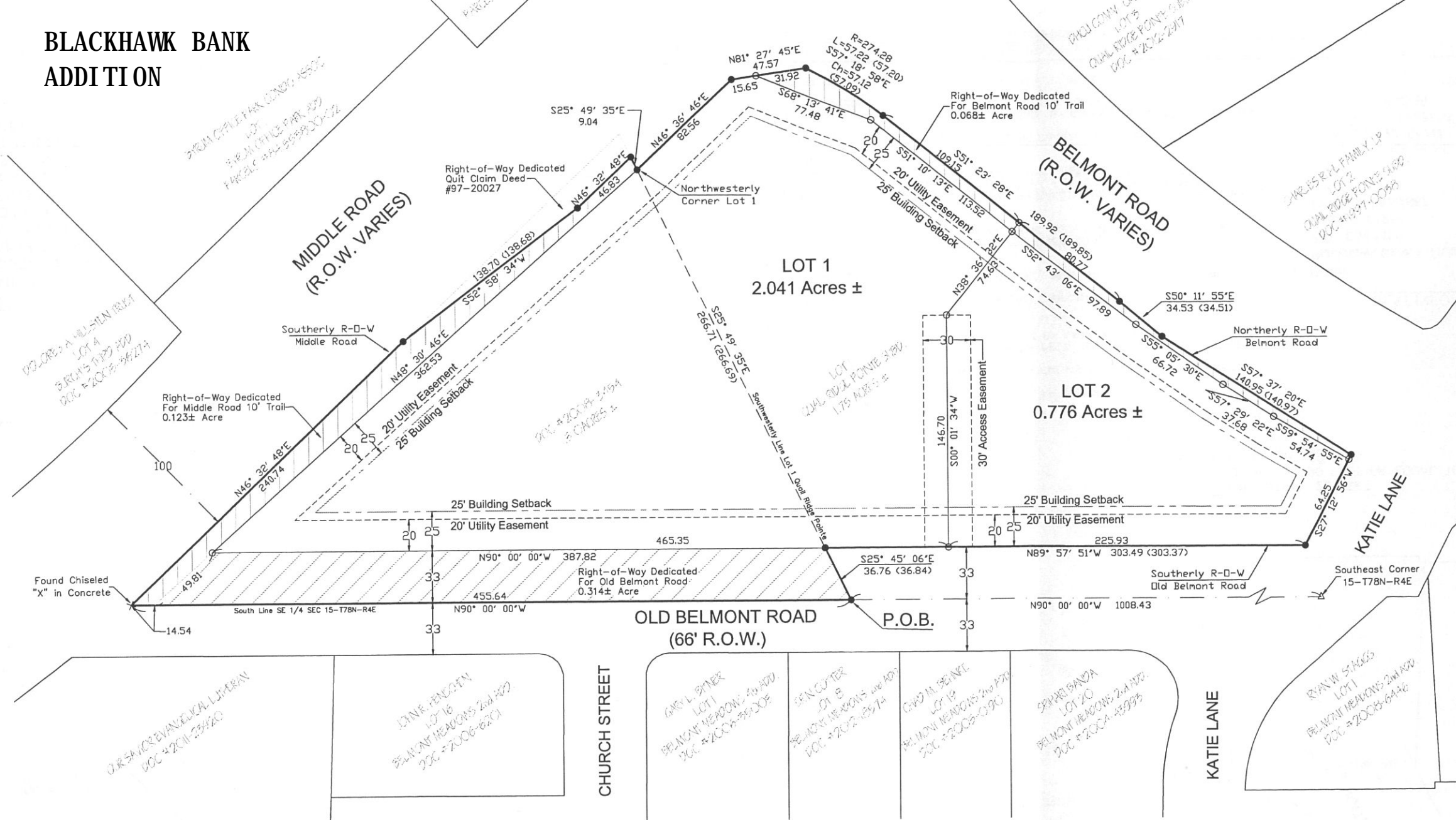


VIEW LOOKING WEST FROM KATIE LANE AND BELMONT ROAD



**BLACKHAWK BANK
ADDITION**

JUL - 7 2015



SURVEYOR'S FINAL PLAT CERTIFICATE
I, LARRY L. LINDEMANN, AN IOWA PROFESSIONAL LAND SURVEYOR NO IN COMPLIANCE WITH THE LAWS OF THE STATE OF IOWA, DO HEREBY CE FINAL PLAT OF BLACKHAWK BANK ADDITION TO THE CITY OF BET COUNTY, IOWA, IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY UNDER MY DIRECTION AND ACCORDING TO THE LAWS OF THE STATE O CITY OF DAVENPORT SUBDIVISION ORDINANCE, OF THE FOLLO PROPERTY, TO WIT:

PART OF THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 78 NORTH, RANGE PRINCIPAL MERIDIAN, CITY OF BETTENDORF, COUNTY OF SCOTT, STATE OF I PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF SECTION 15;
THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, 1008.43 FEET ALONG TH SOUTHEAST QUARTER OF SAID SECTION 15 TO THE POINT OF BEGINNING;
THENCE CONTINUING NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, 455.64 FEET LINE TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY OF MIDDLE ROAD;
THENCE NORTH 46 DEGREES 32 MINUTES 48 SECONDS EAST, 240.74 FEET ALONG SA MIDDLE ROAD TO A POINT;
THENCE NORTH 52 DEGREES 58 MINUTES 34 SECONDS EAST, 138.70 FEET ALO RIGHT-OF-WAY LINE OF SAID ROAD TO A POINT;
THENCE NORTH 46 DEGREES 32 MINUTES 48 SECONDS EAST, 46.83 FEET ALONG SA MIDDLE ROAD TO A POINT;
THENCE SOUTH 25 DEGREES 49 MINUTES 35 SECONDS EAST, 9.04 FEET ALO RIGHT-OF-WAY LINE OF SAID ROAD TO THE NORTHWEST CORNER OF LOT 1 OF I SUBDIVISION TO A POINT;
THENCE NORTH 46 DEGREES 36 MINUTES 46 SECONDS EAST, 82.56 FEET TO A POINT OI LOT 1 OF SAID SUBDIVISION AND THE SOUTHERLY RIGHT-OF-WAY OF MIDDLE ROAD;
THENCE 81 DEGREES 27 MINUTES 45 SECONDS EAST, 47.57 FEET ALONG THE NORTH QUAIL RIDGE POINTE SUBDIVISION AND SAID RIGHT-OF-WAY OF MIDDLE ROAD;
THENCE SOUTHEASTERLY ALONG A 274.28 FOOT RADIUS CURVE CONCAVE SOUTHW DISTANCE OF 57.22 FEET, WITH A CHORD BEARING SOUTH 57 DEGREES 18 MINUTES 58 FEET, ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF BELMONT ROAD AND ON THE NC 1 OF SAID SUBDIVISION;
THENCE SOUTH 51 DEGREES 23 MINUTES 28 SECONDS EAST, 189.92 FEET ALI RIGHT-OF-WAY OF BELMONT ROAD AND THE NORTHERLY LINE OF LOT 1 OF SAID SUBDI
THENCE SOUTH 50 DEGREES 11 MINUTES 55 SECONDS EAST, 34.53 FEET ALONG SA BELMONT ROAD AND THE NORTHERLY LINE OF SAID LOT OF QUAIL RIDGE POINTE SUBDI
THENCE SOUTH 57 DEGREES 37 MINUTES 20 SECONDS EAST, 140.95 FEET ALI RIGHT-OF-WAY OF SAID ROAD AND THE NORTHERLY LINE OF LOT 1 OF SAID SUBDIVISION
THENCE SOUTH 27 DEGREES 12 MINUTES 56 SECONDS WEST, 64.25 FEET ALONG THE E LOT OF QUAIL RIDGE POINTE SUBDIVISION TO A POINT;
THENCE NORTH 89 DEGREES 57 MINUTES 51 SECONDS WEST, 303.49 FEET ALONG TH LOT 1 OF SAID SUBDIVISION AND THE NORTHERLY RIGHT-OF-WAY OF OLD BELMONT RO
THENCE SOUTH 25 DEGREES 45 MINUTES 06 SECONDS EAST, 36.76 FEET TO THE POINT
THIS PARCEL CONTAINS 3.255 ACRES MORE OR LESS INCLUDING 0.314 ACRES OF RIK BELMONT ROAD, 0.068 ACRES OF RIGHT-OF-WAY FOR BELMONT ROAD AND 0.123 ACR DEDICATED TO THE CITY OF BETTENDORF, SAID PARCEL IS SUBJECT TO ALL EASEMENTS C
MONUMENTS SHOWN ON THIS PLAT HAVE BEEN SET OR WILL BE SET V COMPLETION OF THE REQUIRED IMPROVEMENTS AND THEIR ACCEPTAN DAVENPORT, AND SUCH MONUMENTS ARE SUFFICIENT TO ENABLE TI RETRACED AND OCCUPY THE POSITIONS SHOWN THEREON.

SETBACKS
FRONT YARD DEPTH: 25 FEET
SIDE YARD WIDTHS: 20 FEET OR EQUAL TO BLDG HEIGHT
REAR YARD DEPTH: 20 FEET

Area of Subdivision:
Gross Area: 3.255 Acres +/-
R-o-W - Middle Road: 0.123 Acres +/-
R-o-W - Belmont Road: 0.068 Acres +/-
R-o-W - Old Belmont Road: 0.314 Acres +/-
Net Area Lot 1: 2.750 Acres +/-

NOTES:
DIMENSIONS ALONG CURVES ARE ARC DISTANCES.
MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.
ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.
COMPARE THE DESCRIPTION OF THIS PLAT WITH THE DEED, ABSTRACT OR CERTIFICATE OF TITLE; ALSO COMPARE ALL POINTS BEFORE BUILDING BY SAME, AND AT ONCE REPORT ANY DIFFERENCE.
THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL.
ALL IMPROVEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF BETTENDORF STANDARD SPECIFICATIONS.
BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.
THE SUBJECT PROPERTY IS ZONED C-1: LOCAL SHOPPING DISTRICT. ZONING SETBACK LINES ARE BASED ON ZONING REQUIREMENTS AS OF THE DATE OF CITY COUNCIL APPROVAL, IN CASE OF CONFLICT BETWEEN LINES SHOWN AND FUTURE CODE REQUIREMENTS THE CODE REQUIREMENTS SHALL GOVERN.
SHARED ACCESS BETWEEN LOTS 1 AND 2 SHALL BE GUARANTEED BY EASEMENT.
LOT 1 OF QUAIL RIDGE POINTE SUBDIVISION GOVERNED BY COVENANTS CONDITIONED IN 1999 PLATTING AND REZONING OF SAID QUAIL RIDGE POINTE SUBDIVISION
NO LIGHT STANDARDS SHALL BE GREATER THAN 33 FEET IN HEIGHT.

APPROVAL SIGNATURES:

MAYOR _____ DATE: _____

CITY CLERK _____ DATE: _____

CHAIRMAN PLAN & ZONE _____ DATE: _____

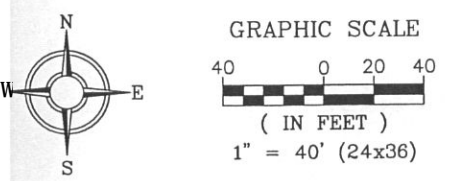
CENTURY LINK _____ DATE: _____

IOWA - AMERICAN WATER COMPANY _____ DATE: _____

MIDAMERICAN ENERGY _____ DATE: _____
APPROVED SUBJECT TO ENCUMBRANCES OF RECORD M.E.C.

PLAT INFORMATION

- Owner:**
Blackhawk Bank & Trust
P.O. Box 1100
Milan, IL 61264
Ph: (309) 787-7567
- Engineer:**
Townsend Engineering
2224 East 12th Street
Davenport, Iowa 52803
Ph: (563) 386-4236
- Surveyor:**
Larry Lindemann
1011 South Elsie
Davenport, Iowa 52802
Ph: (563) 340-5880
- Attorney:**
Kenneth Collinson
225 East First Street
P.O. Box 290
Milan, IL 61264
Ph: (309) 787-2800



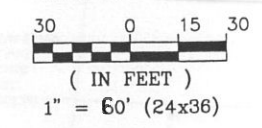
LEGEND:
DEED DIMENSION = (0.00')
FIELD DIMENSION = 0.00'
MONUMENTS FOUND
#5 REBAR, UNLESS NOTED = ●
CHISELED "X" = X
MONUMENTS SET:
#4 REBAR W/ RED CAP #10897 = ○
BOUNDARY LINE = _____
ROAD CENTER LINE = _____
EASEMENT LINE = _____
SETBACK LINE = _____
SECTION LINE = _____

I hereby certify that this land the related survey work was in personal supervision and that under the laws of the State of IOWA

LARRY L. LINDEMANN P.L.S.
Iowa License Number: 10897
My license renewal date is Dec 31, 2015

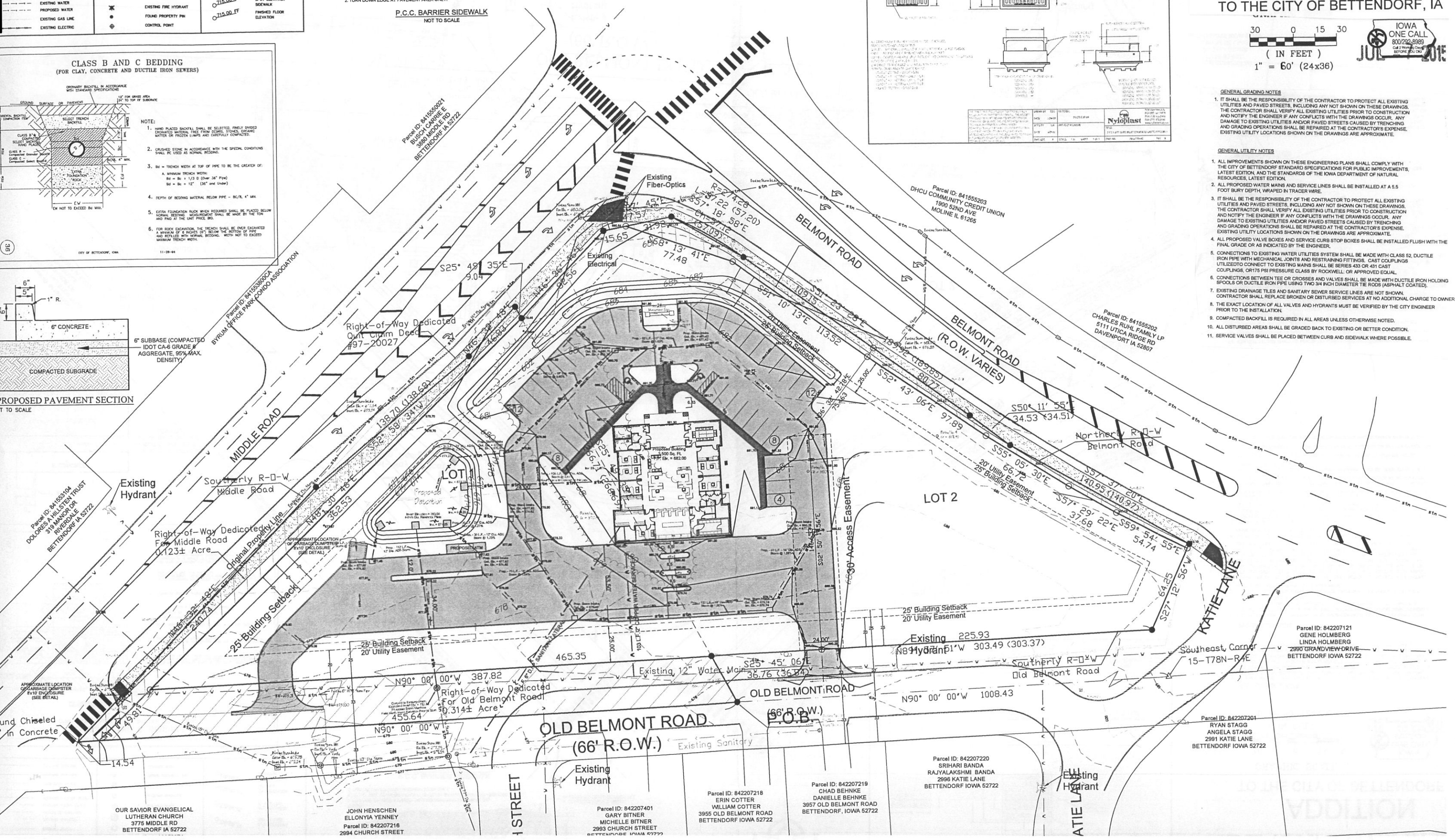
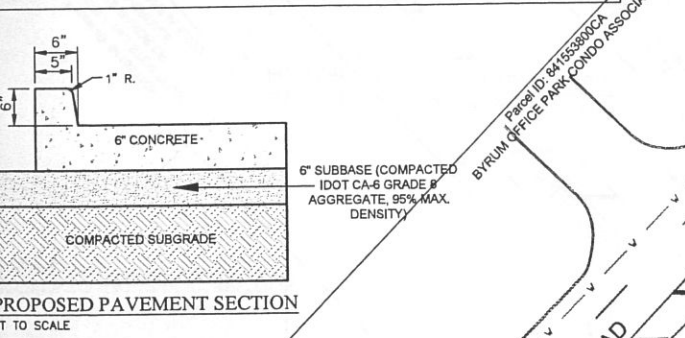
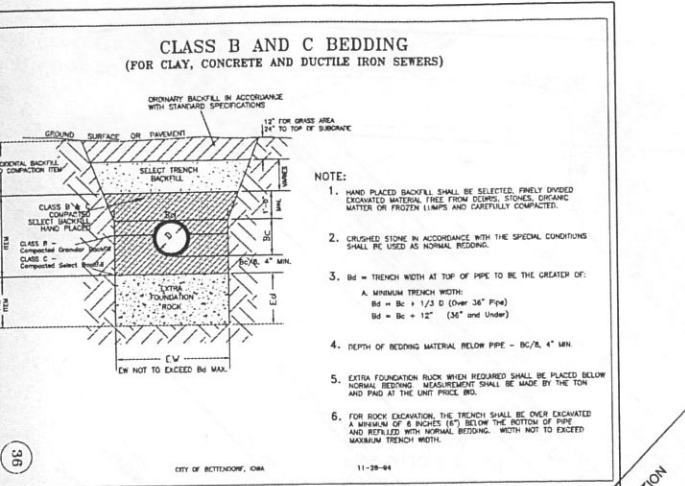
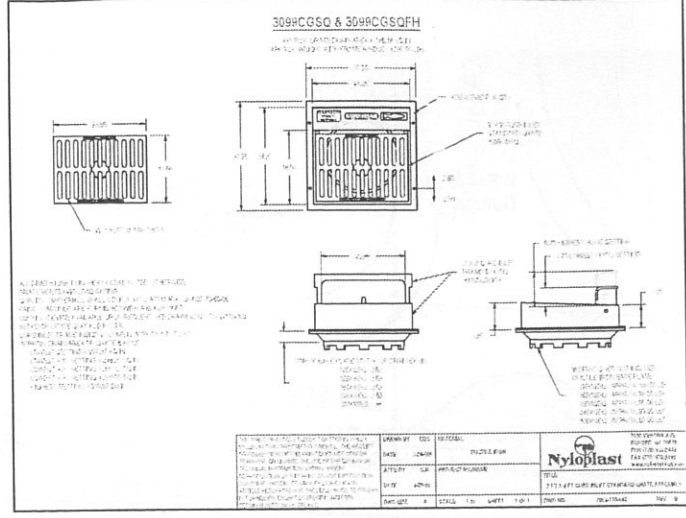
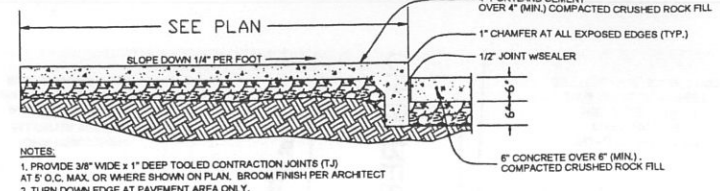
LARRY L. LINDEMANN
10897
IOWA

ATTACHMENT H BLACKHAWK BANK ADDITION TO THE CITY OF BETTENDORF, IA

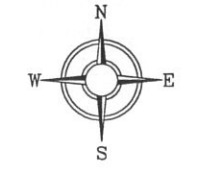
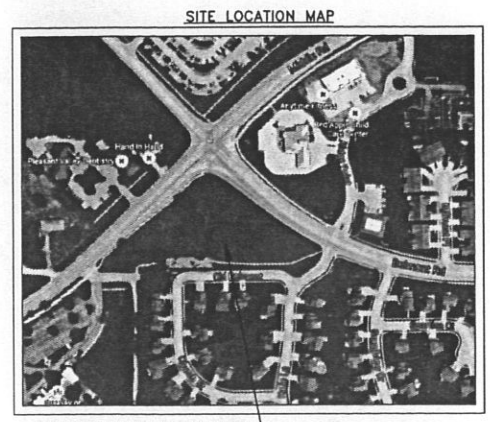
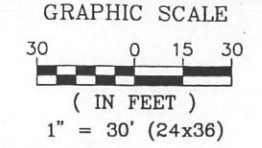


LEGEND:

EASEMENT	EXISTING GAS VALVE	EXISTING CONTOUR LINE
SETBACK LINE	EXISTING WATER VALVE	PROPOSED CONTOUR LINE
CENTERLINE	EXISTING UTILITY POLE	
PROPERTY BOUNDARY	EXISTING LIGHT POLE	
EXISTING FENCE	EXISTING TREE	SPOT ELEVATION TOP OF CURB
EXISTING SANITARY	EXISTING BUSH	SPOT ELEVATION FL. @ CURB
PROPOSED SANITARY	EXISTING MANHOLE	SPOT ELEVATION SIDEWALK ELEVATION
EXISTING STORM SEWER	EXISTING FIRE HYDRANT	
PROPOSED STORM SEWER	FOUND PROPERTY PIN	
EXISTING WATER	CONTROL POINT	
PROPOSED WATER		
EXISTING GAS LINE		
EXISTING ELECTRIC		



BLACKHAWK BL ADDITION TO THE CITY OF BETTENDORF



- GENERAL NOTES**
- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMP THE CITY OF BETTENDORF STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, LATEST EDITION, AND THE STANDARDS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES, LATEST EDITION.
 - LEGAL DESCRIPTION OF PROPERTY:
Parcel ID: 841555201
LOT 1 QUAIL RIDGE POINT SUBDIVISION
Parcel ID: 841555204
3885 MIDDLE ROAD
BETTENDORF, IOWA
Sec: 15 Twp: 78 Rng: 04PT SE 1/4 COM120A.33 E SE COR SWSE: N46D32'E43.0' S28.81'W 455.64' TO BEG 1.55A EX S 33' ROADWAY
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TREE AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
 - THE CONTRACTOR SHALL NOTIFY THE CITY OF BETTENDORF AND THE ENGINEER PRIOR TO COMMENCEMENT OF ANY WORK.
 - PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO DRAIN OR TO POND ONTO ADJOINING PROPERTY PUBLIC RIGHT-OF-WAY.
 - ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
 - CONCRETE PAVEMENT SHALL CONFORM TO THE REQUIREMENTS OF IOWA OF TRANSPORTATION SPECIFICATIONS FOR HIGHWAYS AND BRIDGE CONSTRUCTION SECTION 2301, PORTLAND CEMENT CONCRETE PAVEMENT, CONCRETE PAVEMENT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF BETTENDORF STANDARDS AND SPECIFICATIONS.
 - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE IOWA CONSTRUCTION SITE EROSION CONTROL MANUAL, LATEST EDITION.
 - NOTE: ALL DIMENSIONS ARE TO THE BACK OF CURB, UNLESS OTHERWISE INDICATED.
 - EXISTING ZONING: 3885 MIDDLE ROAD/CS & LOT 1 QUAIL RIDGE POINT: C1
 - BANKS, ONE PARKING SPACE SHALL BE PROVIDED FOR EACH TWO HUNDRED SQUARE FEET OF FLOOR AREA. DRIVE-IN ESTABLISHMENTS SHALL PROVIDE PARKING SPACES PER TELLER OR CUSTOMER SERVICE WINDOW. APPROX. SQUARE FOOTAGE = 4,000 (4,000/200) 20 SPACES REQUIRED. PARKING SPACES REQUIRED ON SITE = 44
 - COORDINATE SYSTEM: US STATE PLANE 1983
IOWA SOUTH 1402
DATUM: NAD 1983
VERTICAL DATUM: NAVD 1988
 - NO LIGHTS SHALL BE GREATER THAN 33' IN HEIGHT.
 - PARKING SHALL BE NO CLOSER THAN 15 FEET TO SIDE LOT LINE.
 - ONE BUILDING MOUNTED SIGN PER STREET FRONTAGE PERMITTED.
 - NO PARKING PERMITTED IN ANY SETBACK AREA.
 - ONE FREE STANDING GROUND MOUNTED IDENTIFICATION SIGN SHALL BE PROVIDED. SIGN SHALL BE NO GREATER THAN 6 FEET IN HEIGHT.



PROVIDE RESERVED PARKING SIGN (R7-8, MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES)
INTERNATIONAL SYMBOL OF ACCESSIBILITY (BLUE SYMBOL ON WHITE BACKGROUND)



R7-101
4'-0" MIN. ABOVE FINISHED GRADE

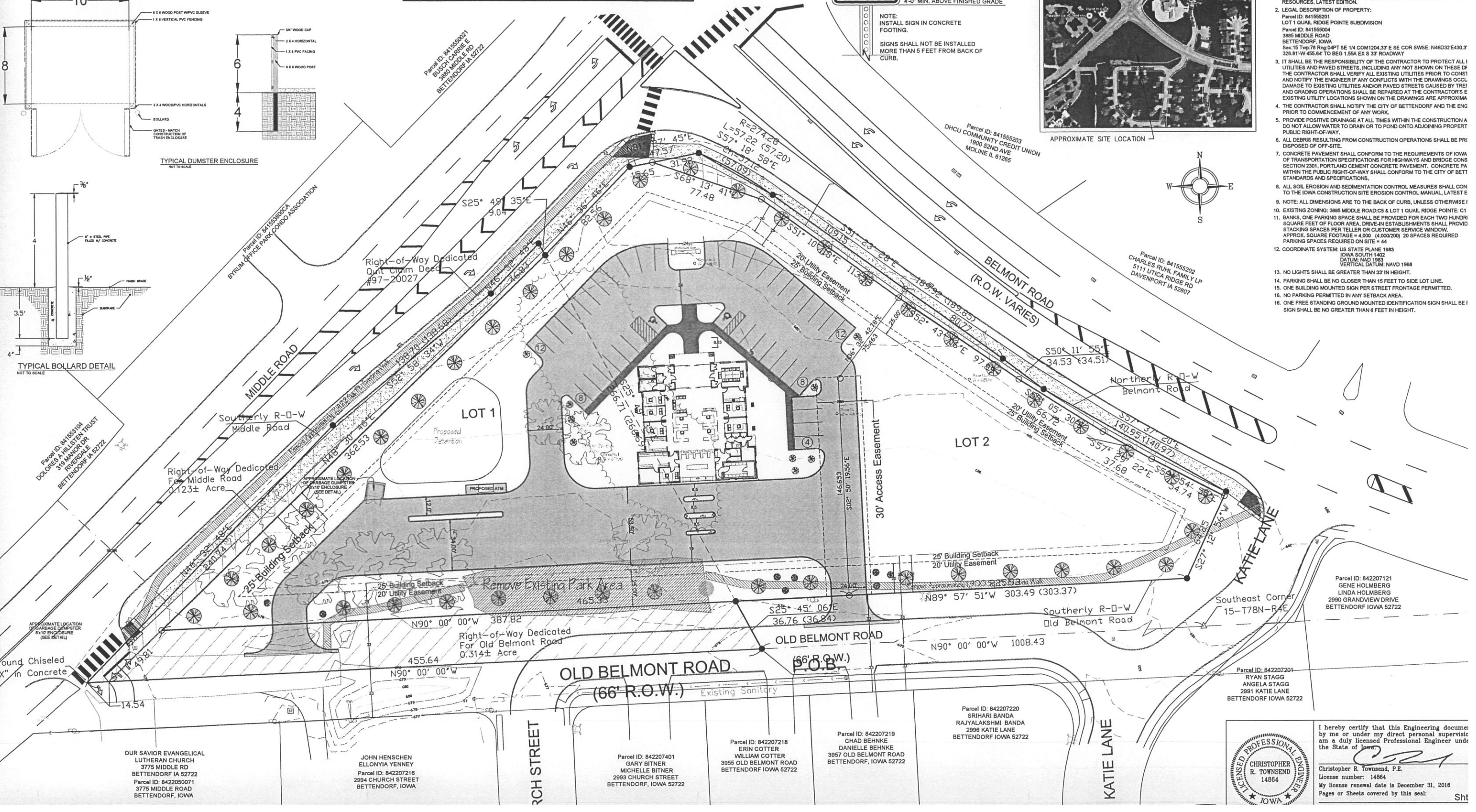
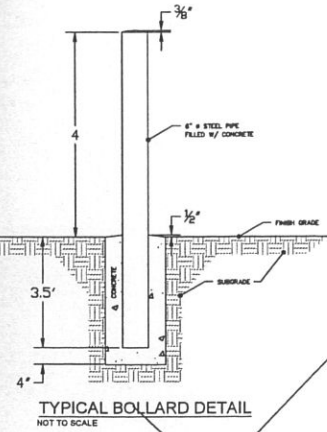
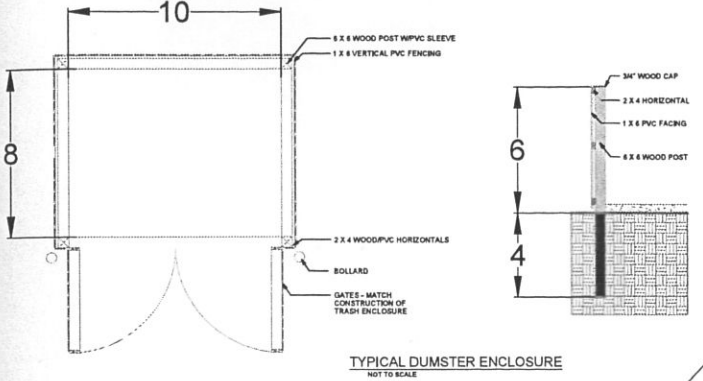
NOTE: INSTALL SIGN IN CONCRETE FOOTING.
SIGNS SHALL NOT BE INSTALLED MORE THAN 5 FEET FROM BACK OF CURB.

LANDSCAPING NOTES
Minimum Street Yard Greenspace requirements:
Total Required Tree Factors=53

	Deciduous Overstory Tree. A shade-producing woody plant having a mature height and spread of at least 30 feet with one well-defined trunk and no branches at or near the base.	Deciduous overstory 2-inch caliper and 22-inch ball or pot 1.0 4-inch caliper and 40-inch ball or pot 2.0
	Deciduous Understory Tree. A woody plant at least 10 feet tall at maturity with one or more well-defined trunks.	One-stem deciduous understory 1 1/2-inch caliper and 16-inch ball or pot 0.5 3-inch caliper and 30-inch ball or pot 1.0 Multi-stem deciduous understory 6-foot height and 16-inch ball or pot 0.5 12-inch height and 30-inch ball or pot 1.0
	Evergreen/Conifer Tree. An upright cone-bearing plant having green needle-like foliage throughout the year and at least 20 feet tall at maturity.	Evergreen 6-foot height and 16-inch ball or pot 0.5 12-foot height and 30-inch ball or pot 1.0

LEGEND:

	EXISTING GAS VALVE		EXISTING CONTOUR LINE
	EXISTING WATER VALVE		PROPOSED CONTOUR LINE
	EXISTING UTILITY POLE		SPOT ELEVATION TOP OF CURB
	EXISTING LIGHT POLE		SPOT ELEVATION FL # GUTTER
	EXISTING TREE		SPOT ELEVATION SIDEWALK
	EXISTING BUSH		FINISHED FLOOR ELEVATION
	EXISTING MANHOLE		
	EXISTING FIRE HYDRANT		
	FOUND PROPERTY PIN		



OUR SAVIOR EVANGELICAL LUTHERAN CHURCH
3775 MIDDLE RD
BETTENDORF IA 52722
Parcel ID: 8422050071
3775 MIDDLE ROAD
BETTENDORF, IOWA

JOHN HENSCHEN
ELLONVIA YENNEY
Parcel ID: 842207216
2994 CHURCH STREET
BETTENDORF, IOWA

Parcel ID: 842207401
GARY BITNER
MICHELLE BITNER
2993 CHURCH STREET
BETTENDORF, IOWA 52722

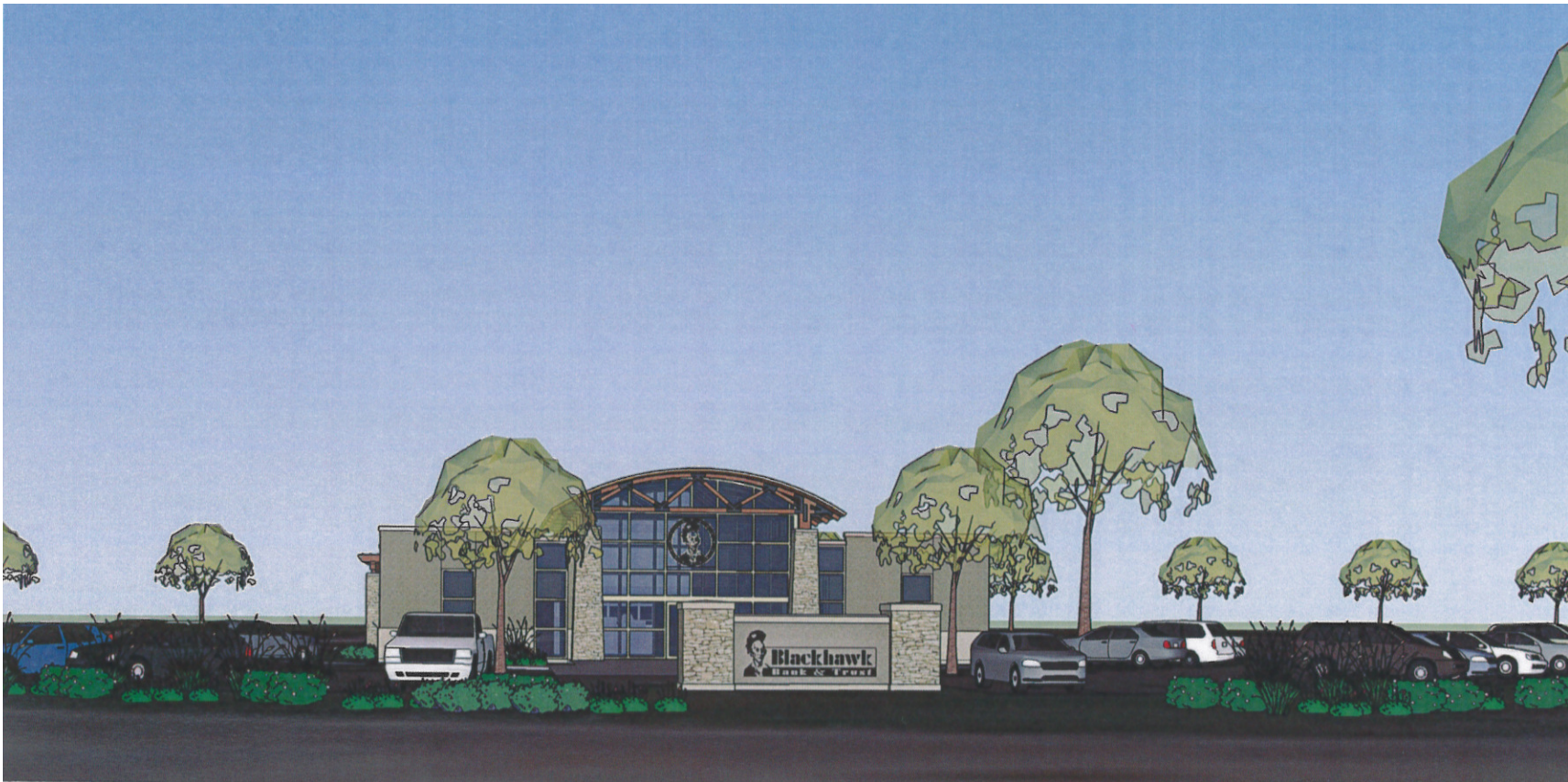
Parcel ID: 842207218
ERIN COTTER
WILLIAM COTTER
3955 OLD BELMONT ROAD
BETTENDORF IOWA 52722

Parcel ID: 842207219
CHAD BEHNKE
DANIELLE BEHNKE
3957 OLD BELMONT ROAD
BETTENDORF, IOWA 52722

Parcel ID: 842207220
SRIHARI BANDA
RAJYALAKSHMI BANDA
2996 KATIE LANE
BETTENDORF IOWA 52722



I hereby certify that this Engineering document was prepared by me or under my direct personal supervision and I am a duly licensed Professional Engineer under the State of Iowa.
Christopher R. Townsend, P.E.
License number: 14864
My license renewal date is December 31, 2016
Pages or Sheets covered by this seal: 1 of 1



VIEW LOOKING SOUTH



VIEW LOOKING EAST